THE CITY OF Fitchburg City of Fitchburg Planning/Zoning Department 5520 Lacy Road Fitchburg, WI 53711 (608-270-4200)	**ARCHITECTURAL & DESIGN REVIEW APPLICATION**

Applicant/Contact Person: Avante Properties / Chris Armstrong

Address: 120 E. Lakeside Street **Phone Number of Contact Person:** 608-294-4086

City, State, Zip Code: Madison, WI 53715 **Email of Contact Person:** chris@avanteproperties.com

Project Address: Nobel Drive and Mica Road **Lot:** Outlot 2 **Subdivision:** Fitchburg Tech. Campus

Project Type: ✓ **Multi-Family** _____ **Commercial** _____ **Industrial** _____ **Other**

✓ **New** _____ **Addition**

Impervious Surface Ratio (ISR): 43% (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- ☑ 1. Lot or property dimensions.
- ☑ 2. Orientation (to north).
- ☑ 3. Adjacent highways, roads, drive, etc.
- ☑ 4. Existing natural features (rivers, ponds, wetlands).
- ☑ 5. Existing buildings and/or improvements.
- ☑ 6. Existing and proposed site drainage.
- ☑ 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- ☑ 8. ISR shall be indicated on all plans.
- ☑ 9. Stormwater management plans and details.
- ☑ 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- ☑ 1. Building size, configuration and orientation.
- ☑ 2. Distance from lot lines.
- ☑ 3. Distance from other buildings, improvements and natural features.
- ☐ 4. Location of well, septic tank, drainfield, etc. (if applicable)
- ☐ 5. Additional proposed additions or new structures.
- ☑ 6. Construction type (wood frame, structural steel, etc.).
- ☑ 7. Foundation type (full basement, slab on grade, etc.).
- ☑ 8. Number of levels.
- ☑ 9. Siding/exterior covering type, color, texture, etc.
- ☑ 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- ☑ 11. Roofing material type, color, texture, etc.
- ☑ 12. Exterior door and window location, size, type, etc.
- ☑ 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- ☑ 1. Location of highway and road access points.
- ☑ 2. Location, size, configuration of drivers and walks.
- ☑ 3. Number, size, location of parking spaces.
- ☑ 4. Location of handicapped parking and accessible building entrances.
- ☑ 5. Bicycle rack(s).

Landscaping:

- ☒ 1. Location, species, size of existing trees, shrubs, and plantings.
- ☒ 2. Location, species, size of proposed plantings.
- ☒ 3. Location and size of all paved, seeded/sodded and gravelled areas.
- ☒ 4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed: _____ **Date:** 11/13/2015
Applicant or Authorized Agent

***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: _____ **Plan Commission Date:** _____

Comments:

November 16, 2015

Thomas Hovel
Zoning Administrator/City Planner
Department of Planning & Development
City of Fitchburg
5520 Lacy Road
Fitchburg, Wisconsin 53711

Re: Letter of Intent
Fitchburg Technology Campus-Outlot 2
Fitchburg, WI

Dear Mr. Hovel:

The following is submitted together with the plans and application for staff, Plan Commission and Common Council consideration of approval.

Development Team:

Owner: Fitchburg Technology Campus, LLC
120 E. Lakeside Street
Madison, WI 53715
608-294-4086
Contact: Chris Armstrong
chris@avanteproperties.com

Architect: Knothe & Bruce Architects, LLC
7601 University Avenue, Ste 201
Middleton, WI 53562
608-836-3690
Contact: Kevin Burow
kburow@knothebruce.com

Engineer: Vierbicher
999 Fourier Drive Ste 201
Madison, WI 53717
608-826-0532
Contact: Joe Doyle
jdoy@vierbicher.com

Landscape Design: Vierbicher
999 Fourier Drive Ste 201
Madison, WI 53717
608-826-0532
Contact: Suzanne Vincent
svin@vierbicher.com

Introduction:

This development is located at the corner of Nobel Drive and Mica Road. The site is part of the Fitchburg Technology General Implementation Plan, 2002. The site is designated for multifamily use and is zoned R-H High Density Residential.

Social and Economic Impacts:

This development will have a positive social and economic impact by bringing a high quality residential development that is integrated into its environment and in close proximity to an employment base. The adjacency to the existing public lands will also serve as a great amenity for the residents.

Consistency with Comprehensive Development plan:

This development meets design components outlined in the approved Fitchburg Technology Campus GIP including land use, building height, and building setback. The parking provided is at a 1.75 to 1 ratio which is slightly less than the required 2 to 1 ratio and a waiver will be requested.

Site Planning & Building Architecture:

The site plan is designed to provide an integrated high-density housing environment with a variety of rental apartments. Vehicular access to the site from Nobel Drive has been located on the far eastern end to keep traffic away from the existing housing to the north and west and also will be kept on the higher used road of Nobel Drive. Several pedestrian connections have been made along Nobel Drive and along Mica Road and are enhanced with sidewalks, terraces, street lighting and trees.

The three-story, 30-unit apartment design shall be integrated into the existing neighborhood and includes private front porches and balconies fronting Nobel Drive. Surface parking and underground parking has been located on the eastern portions of the site.

The structure will be 3 stories of wood framed construction over a full basement with underground parking. Building materials will be a combination of brick veneer, vinyl siding, composite panels including board and batten, and architectural shingles.

Site Development Data:

Dwelling Unit:	
Total Dwelling Units	30
Densities:	
Lot Area	52,465 S.F. or 1.20 Acres
Lot Area / D.U.	1,749 SF/unit
Density	25 units/acre
Building Area:.	
Gross Area Excluding Basement	32,478 S.F.
Building Height:	Three Stories

Unit Mix:

Studios	3
One Bedroom	18
Two Bedroom	9
Total	30

Vehicle Parking:

Underground-Residential	30 stalls
Surface	22 stalls
Total	52 stalls

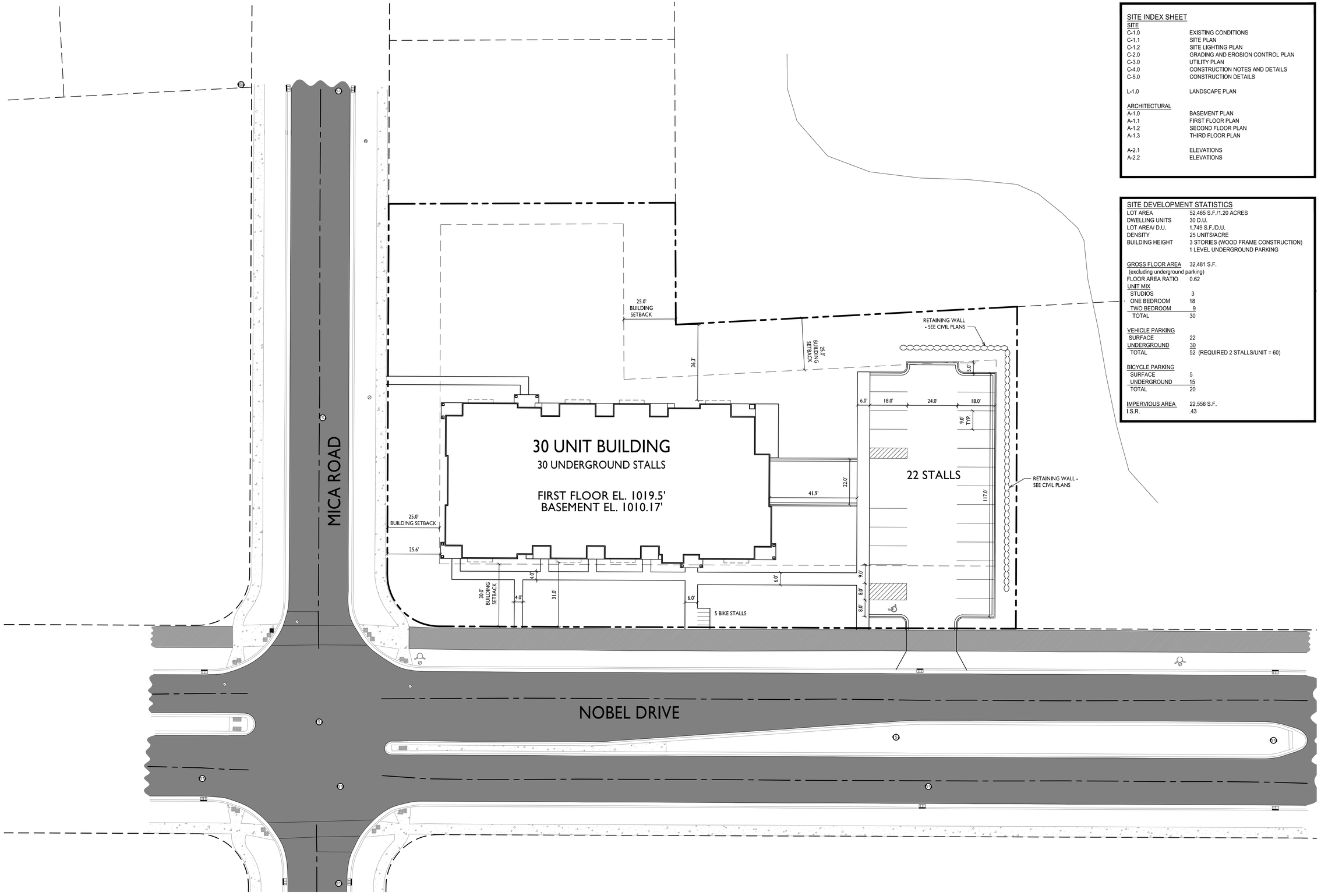
Bicycle Parking:

Underground	15
Surface	5
Total	20

Project Schedule:
It is anticipated that the new construction phase will start in the spring/summer of 2016 and be completed in spring 2017.

Sincerely,

Kevin Burow, AIA
Architect



1 C-1.1 SITE PLAN
1" = 20'-0"

GRAPHIC SCALE
0 20 40 60
(IN FEET)
1 INCH = 20 FT (24X36 PAPER)

SITE INDEX SHEET

SITE DEVELOPMENT STATISTICS

LOT AREA	52,465 S.F./1.20 ACRES
DWELLING UNITS	30 D.U.
LOT AREA D.U.	1,749 S.F./D.U.
DENSITY	25 UNITS/ACRE
BUILDING HEIGHT	3 STORIES (WOOD FRAME CONSTRUCTION)
	1 LEVEL UNDERGROUND PARKING
GROSS FLOOR AREA	32,481 S.F.
(excluding underground parking)	
FLOOR AREA RATIO	0.62
UNIT MIX	
STUDIOS	3
ONE BEDROOM	18
TWO BEDROOM	9
TOTAL	30
VEHICLE PARKING	
SURFACE	22
UNDERGROUND	30
TOTAL	52 (REQUIRED 2 STALLS/UNIT = 60)
BICYCLE PARKING	
SURFACE	5
UNDERGROUND	15
TOTAL	20
IMPERVIOUS AREA	22,556 S.F.
I.S.R.	.43

kba
knothe • bruce
ARCHITECTS
Phone: 608.836.3690
7601 University Ave, Ste 201
Middleton, WI 53562

ISSUED
Issued for Review - November 16, 2015

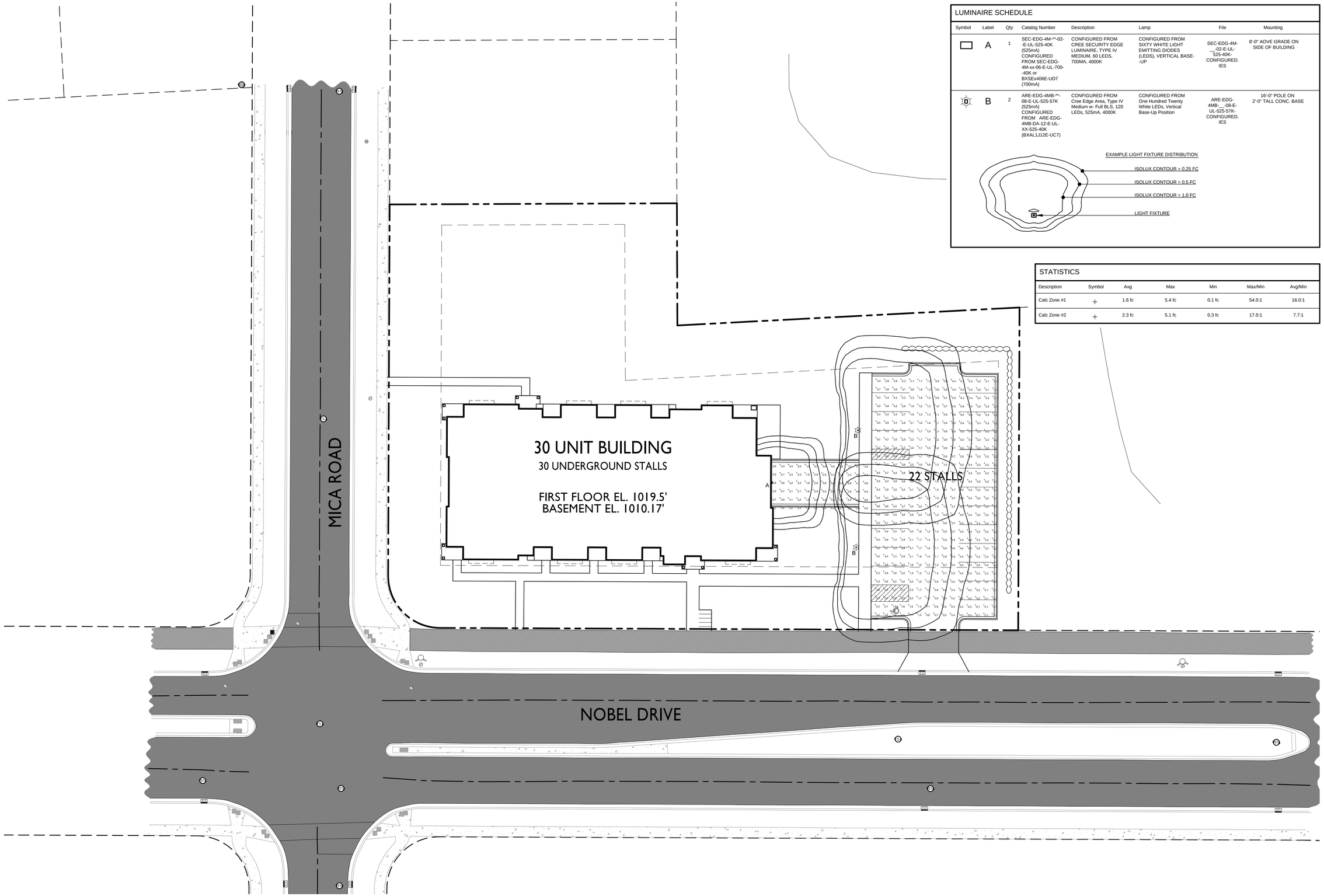
PROJECT TITLE
FTC Outlot 2

Nobel Drive
Fitchburg, Wisconsin

SHEET TITLE
Site Plan

SHEET NUMBER
C-1.1

PROJECT NO. 1427



LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Mounting
▭	A	1	SEC-EDG-4M-**-02--E-UL-525-40K (525mA) CONFIGURED FROM SEC-EDG-4M-xx-06-E-UL-700--40K or BXSEx406E-UD7 (700mA)	CONFIGURED FROM CREE SECURITY EDGE LUMINAIRE, TYPE IV MEDIUM, 60 LEDS, 700MA, 4000K	CONFIGURED FROM SIXTY WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL BASE--UP	SEC-EDG-4M-__-02-E-UL-525-40K-CONFIGURED.IES	8'-0" AOVE GRADE ON SIDE OF BUILDING
☼	B	2	ARE-EDG-4MB-**-08-E-UL-525-57K (525mA) CONFIGURED FROM ARE-EDG-4MB-DA-12-E-UL-XX-525-40K (BXAL1J12E-UC7)	CONFIGURED FROM Cree Edge Area, Type IV Medium w- Full BLS, 120 LEDs, 525mA, 4000K	CONFIGURED FROM One Hundred Twenty White LEDs, Vertical Base-Up Position	ARE-EDG-4MB-__-08-E-UL-525-57K-CONFIGURED.IES	16'-0" POLE ON 2'-0" TALL CONC. BASE

EXAMPLE LIGHT FIXTURE DISTRIBUTION

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.6 fc	5.4 fc	0.1 fc	54.0:1	16.0:1
Calc Zone #2	+	2.3 fc	5.1 fc	0.3 fc	17.0:1	7.7:1

1 C-1.2 SITE LIGHTING PLAN
1" = 20'-0"

GRAPHIC SCALE
0 20 40 60
(IN FEET)
1 INCH = 20 FT (24X36 PAPER)

knothe bruce ARCHITECTS
Phone: 608.836.3690
7601 University Ave, Ste 201
Middleton, WI 53562

ISSUED
Issued for Review - November 16, 2015

PROJECT TITLE
FTC Outlot 2

Nobel Drive
Fitchburg, Wisconsin

SHEET TITLE
Site Lighting Plan

SHEET NUMBER
C-1.2

PROJECT NO. 1427

LOT 20

LOT 21

OUTLOT 2

OUTLOT 3

MICA ROAD

NOBEL DRIVE

EX CIN
TC=1011.68
18" IE=1006.38 E
18" IE=1006.43 W

EX STMH
RIM=1011.48
12" IE=1005.96 N
18" IE=1006.06 W
18" IE=1008.11 E

EX CIN
TC=1011.66
12" IE=1008.83 W

PROPERTY LINE

EXISTING 10' WIDE PUBLIC UTILITY EASEMENT, #5083285

EXISTING SILT FENCE

EXISTING 6' R/W GRANT GAS MAIN EASEMENT TO MG&E, #5128852

CONCRETE SIDEWALK

1016.28

8" WATER SERVICE

1016.61

8" SANITARY LATERAL

EX SMH
RIM=1016.13
8" IE=1000.91 N
8" IE=1001.91 E
8" IE=1001.01 S

10" DI WATERMAIN

1018.51

6'

1018.53

1017.50

EXISTING 10' WIDE PUBLIC UTILITY EASEMENT, #5083285

1016.50

1019.66

1019.00

1018.03

1017.43

ASPHALT BIKE PATH

1003.83

1007.42

1002.63

1008.59

1005.81

1004.81

1001.53

1002.39

998.75

5'

1011.99

EXISTING 10' WIDE PUBLIC UTILITY EASEMENT, #5083285

BENCHMARK #2
TOP NUT=1022.21

BENCHMARK #3
TOP NUT=1013.84

1015.61

1015.42

1015.97

1014.58

1014.46

1015.05

1014.87

1014.03

1014.09

EX SMH
RIM=1016.07
8" IE=1003.67 W

EX CIN
TC=1015.05
12" IE=1011.45 W

EX SMH
RIM=1020.20
8" IE=1002.41 E
8" IE=1002.36 W
8" IE=1002.36 S
8" IE=1002.36 N

EX STMH
RIM=1019.54
48" IE=1011.89 W
48" IE=1011.89 E
24" IE=1014.10 S

EX CIN
TC=1014.28
12" IE=1011.45 N

EX STMH
RIM=1014.65
48" IE=1005.32 W
48" IE=1005.14 NE
12" IE=1009.88 N
12" IE=1009.89 S

CONCRETE SIDEWALK

N
W E
S

GRAPHIC SCALE FEET
0 10 20 40

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING CURB INLET
- EXISTING ENDWALL
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING GAS VALVE
- EXISTING TRANSFORMER
- EXISTING LIGHT POLE

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING SILT FENCE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING SANITARY SEWER LINE (SIZE NOTED)
- EXISTING STORM SEWER LINE (SIZE NOTED)
- EXISTING WATER MAIN (SIZE NOTED)
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPERTY LINE

vierbicher
planners | engineers | advisors
REEDSBURG - MADISON - PRAIRIE DU CHIEN
999 Fourier Drive, Suite 201 Madison, Wisconsin 53717
Phone: (608) 826-0532 Fax: (608) 826-0530

Existing Conditions Plan

Outlot 2
Noble Drive, City of Fitchburg
Dane County, WI

REVISIONS		
NO.	DATE	REMARKS

REVISIONS		
NO.	DATE	REMARKS

SCALE
AS SHOWN

DATE
11/13/2015

DRAFTER
CGUY

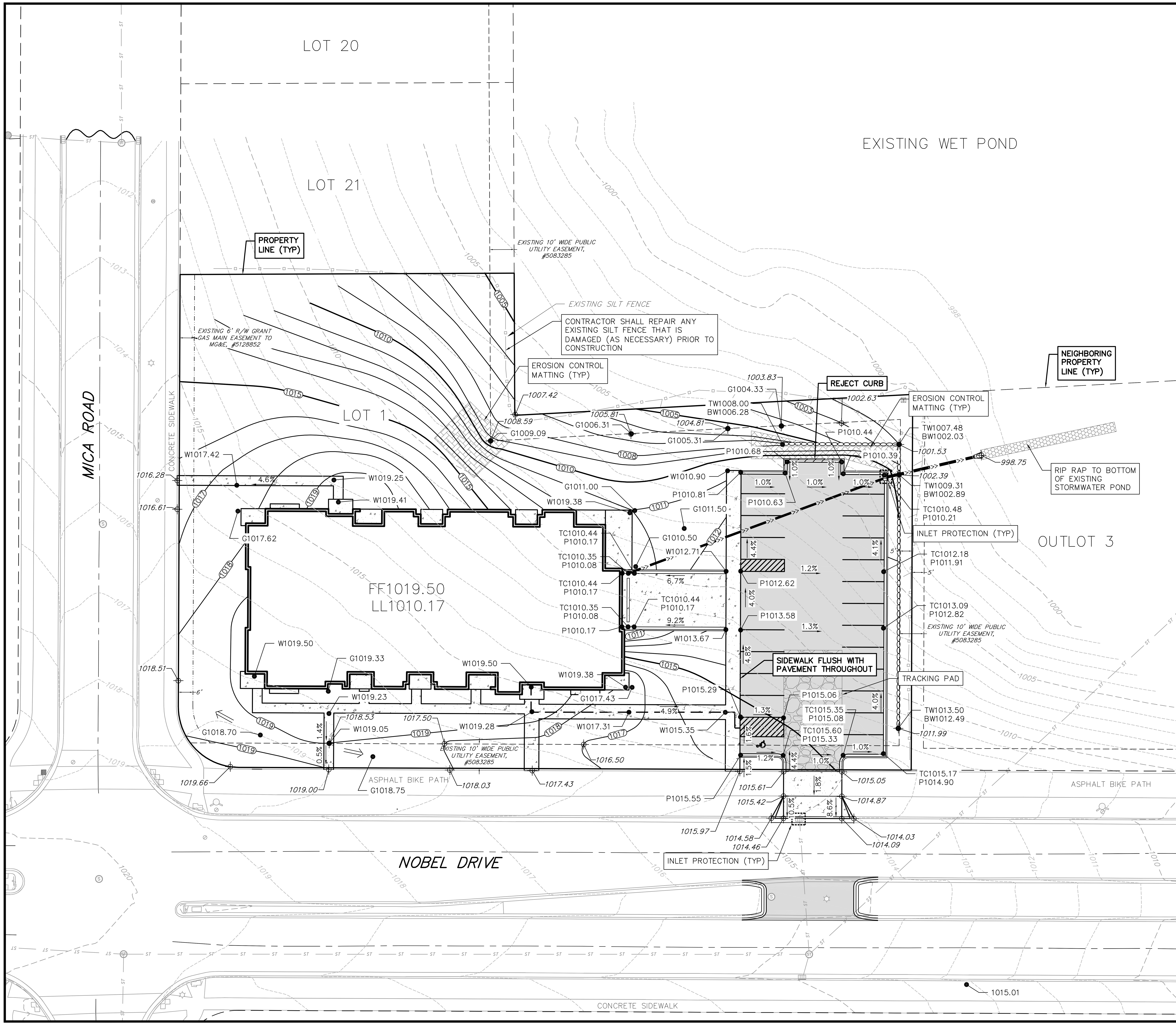
CHECKED
JFEL

PROJECT NO.
140234

SHEET
1 OF 6

DWG. NO.
C-1.0

13 Nov 2015 - 2:35p M:\Avante Properties\140234_TechLands OL2\CADD\140234_Base.dwg by: cguy



N
W E
S

GRAPHIC SCALE FEET
0 10 20 40

GRADING LEGEND

- 820 — EXISTING MAJOR CONTOURS
- 818 — EXISTING MINOR CONTOURS
- (820) — PROPOSED MAJOR CONTOURS
- (818) — PROPOSED MINOR CONTOURS
- PROPERTY LINE
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- ADA ROUTE
- DRAINAGE DIRECTION
- 2.92% — PROPOSED SLOPE ARROWS
- 1048.61 — EXISTING SPOT ELEVATIONS
- 1048.61 — PROPOSED SPOT ELEVATIONS
- INLET PROTECTION
- RIP RAP
- TRACKING PAD

ABBREVIATIONS

TC – TOP OF CURB
LP – LOW POINT
G – GROUND
W – WALK
FF – FINISHED FLOOR
TW – TOP OF WALL
BW – BOTTOM OF WALL

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- EROSION CONTROL MATTING
- PROPOSED HANDICAP PARKING

GENERAL NOTE:

1) LOCATION OF MEDIAN OPENINGS TO BE COORDINATED WITH THE CITY OF FITCHBURG PRIOR TO THE DEVELOPMENT OF FINAL CONSTRUCTION PLANS.

2) THE CONTOURS SHOWN ON THIS PLAN ARE TO BE USED FOR GENERAL DRAINAGE PURPOSES ONLY.

3) CUT/FILL WITHIN UTILITY EASEMENTS SHALL NOT BE GREATER THAN 6 INCHES.

SEE SHEET C–4.0 FOR EROSION CONTROL NOTES.

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Phone: (608) 826-0532 Fax: (608) 826-0530

Grading and Erosion Control Plan

Outlot 2
Noble Drive, City of Fitchburg
Dane County, WI

REVISIONS		
NO.	DATE	REMARKS

REVISIONS		
NO.	DATE	REMARKS

SCALE AS SHOWN
DATE 11/13/2015
DRAFTER JFEL/CGUY
CHECKED JFEL
PROJECT NO. 140234
SHEET 2 OF 6
DWG. NO. C–2.0

13 Nov 2015 - 2:35p M:\Avante Properties\140234_TechLands OL2\CADD\140234_Base.dwg by: cguy

EX CIN
TC=1011.68
18" IE=1006.38 E
18" IE=1006.43 W

EX STMH
RIM=1011.48
12" IE=1005.96 N
18" IE=1006.06 W
18" IE=1008.11 E

EX CIN
TC=1011.66
12" IE=1008.83 W

LOT 20

LOT 21

EXISTING WET POND

PROPERTY LINE (TYP)

EXISTING 10' WIDE PUBLIC UTILITY EASEMENT, #5083285

EXISTING 6' R/W GRANT GAS MAIN EASEMENT TO MG&E, #5128852

MICA ROAD

LOT 1

NEIGHBORING PROPERTY LINE (TYP)

REJECT CURB

4' CATCH BASIN W/ INLET
TC=1010.48
12" IE=999.39 W
15" IE=999.14 E

CONNECT TO EXISTING 8" WATER LATERAL

14'-8" DUCTIL IRON WATER SERVICE

BUILDING WATER CONNECTION (COORDINATE WITH PLUMBING PLANS)

BUILDING SANITARY CONNECTION (COORDINATE WITH PLUMBING PLANS)

EX SMH
RIM=1016.13
8" IE=1000.91 N
8" IE=1001.81 S
8" IE=1001.01 E

10" DI WATERMAIN

10'-8" SANITARY SEWER PVC

CONNECT TO EXISTING 8" SANITARY LATERAL

FF1019.50
LL1010.17

TRENCH DRAIN
RIM=1010.00
12" IE=1007.00

15" RCP ENDWALL
IE=998.75

39'-15" RCP
@ 1.0%

114'-12" HDPE@ 6.7%

STORM RCP CROSSES RETAINING WALL

OUTLOT 3

EXISTING 10' WIDE PUBLIC UTILITY EASEMENT, #5083285

SIDEWALK FLUSH WITH PAVEMENT THROUGHOUT

REMOVE AND REPLACE CURB INLET CASTING PER CITY OF FITCHBURG SPECIFICATIONS

REMOVE AND REPLACE CURB PER CITY OF FITCHBURG SPECIFICATIONS

EXISTING HYDRANT

BENCHMARK #2
TOP NUT=1022.21

BENCHMARK #3
TOP NUT=1013.84

EXISTING HYDRANT

NOBEL DRIVE

EX SMH
RIM=1016.07
8" IE=1003.67 W

EX CIN
TC=1015.05
12" IE=1011.45 W

CONTRACTOR TO COORDINATE RELOCATION OF EXISTING LIGHT POLE

CONTRACTOR TO ADJUST SANITARY MANHOLE RIM TO BE FLUSH WITH PROPOSED PAVEMENT

EX SMH
RIM=1020.20
8" IE=1002.41 E
8" IE=1002.36 W
8" IE=1002.36 S
8" IE=1002.36 N

EX CIN
TC=1014.28
12" IE=1011.45 N

EX STMH
RIM=1014.65
48" IE=1005.32 W
48" IE=1005.14 NE
12" IE=1009.88 N
12" IE=1009.89 S

EX STMH
RIM=1019.54
48" IE=1011.89 W
48" IE=1011.89 E
24" IE=1014.10 S

CONTRACTOR TO REMOVE EXISTING CURB IN PROPOSED TURN LANE

N
W E
S

GRAPHIC SCALE FEET
0 10 20 40

PROPOSED UTILITY LEGEND
- STORM SEWER PIPE
- STORM SEWER ENDWALL
- STORM SEWER CURB INLET
- SANITARY SEWER LATERAL PIPE
- WATER SEWER LATERAL PIPE

SITE PLAN LEGEND
- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED HANDICAP PARKING

SEE SHEET C-4.0 FOR UTILITY NOTES.

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999 Fourier Drive, Suite 201 Madison, Wisconsin 53717
Phone: (608) 826-0532 Fax: (608) 826-0530

REVISIONS
NO. DATE REMARKS

REVISIONS
NO. DATE REMARKS

Utility Plan

Outlot 2
Noble Drive, City of Fitchburg
Dane County, WI

SCALE
AS SHOWN

DATE
11/13/2015

DRAFTER
JFEL/CGUY

CHECKED
JFEL

PROJECT NO.
140234

SHEET
3 OF 6

DWG. NO.
C-3.0

13 Nov 2015 - 2:36p M:\Avante Properties\140234_TechLands OL2\CADD\140234_Base.dwg by: cguy

EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF FITCHBURG EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.

2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (http://dnr.wi.gov/runoff/stormwater/techstds.htm) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.

3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, INLET PROTECTION, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.

4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WisDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.

7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.

8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.

9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).

10. SEE DETAIL SHEETS FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".

11. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED.

12. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.

13. LOT AND TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOT SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.

14. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.

15. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH AND EROSION MAT) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.

16. EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.

17. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.

18. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.

19. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.

20. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.

21. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF FITCHBURG.

22. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

UTILITY NOTES

1. SANITARY & STORM SEWER LENGTHS ARE SHOWN FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE. PIPE WILL BE PAID FOR FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND END SECTIONS WILL BE PAID FOR PER EACH. OFFSETS DEPICTED ON STORM STRUCTURE TABLES ARE TO BACK OF CURB.

2. THE LOCATIONS OF EXISTING AND PROPOSED UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES.

3. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.

4. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, INLETS, WATER VALVES, AND CURB STOPS). MANHOLE COVERS SHALL BE PLACED OUTSIDE WHEEL PATH.

5. USE OF SHOT ROCK AND/OR EXCAVATED ROCK FOR TRENCH BACKFILL IS SUBJECT TO APPROVAL BY THE CITY.

6. ALL WATER MAIN CONCRETE BLOCKING NEEDS TO BE POURED IN PLACE.

7. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.

8. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.

9. ALL PUBLIC SANITARY SEWER AND PRIVATE LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.

10. ALL SANITARY LATERALS SHALL BE PLUGGED AND CAPPED WITH WATERTIGHT PLUG MANUFACTURED TO FIT PIPE.

11. SANITARY AND WATER LATERALS SHALL BE MARKED WITH 4"X4" WOOD POST (PAINTED GREEN FOR SANITARY SERVICES AND BLUE FOR WATER SERVICES) PLACED VERTICALLY AT THE INVERT AND EXTENDING 2' ABOVE GROUND.

12. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.

13. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD TO ENSURE THE UNDERSTANDING OF, AND COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, THE PROPOSED METHOD OF EROSION CONTROL, THE DUTIES OF THE RESIDENT PROJECT REPRESENTATIVE, THE DISINFECTION AND BACTERIOLOGICAL SAMPLING REQUIREMENTS OF NR 810.94(4), WIS. ADM. CODE AND ANY SPECIAL CONDITIONS LISTED BELOW.

14. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED FROM THE DEPARTMENT PRIOR TO STARTING ANY DEWATERING ACTIVITIES.

15. ALL WATER SYSTEM MATERIALS SHALL BE MANUFACTURED IN THE UNITED STATES AND BE LABELED AS SUCH. USE OF FOREIGN MATERIALS IS PROHIBITED.

16. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PERMIT APPROVALS SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF NATURAL RESOURCES AND OTHER LOCAL INSPECTORS.

17. SCOTCHMARK BALL MARKERS SHALL BE INSTALLED FOR SANITARY LATERAL LOCATING PURPOSES (PRODUCT #1404-XP). BALL MARKERS SHALL BE GREEN IN COLOR.

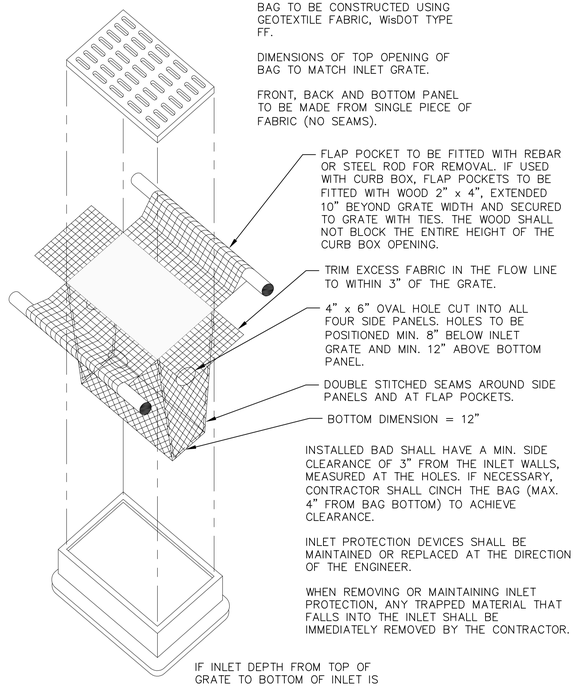
18. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS..

19. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.

20. PER CITY ORDINANCE, CONTRACTORS ARE NOT ALLOWED TO OPERATE CITY OWNED VALVES. THE CONTRACTOR SHALL CALL THE FITCHBURG UTILITY AT 270-4270 FOR OPERATION OF THESE VALVES.

21. SAFE SAMPLE RESULTS NEED TO BE PROVIDED TO THE FITCHBURG UTILITY PRIOR TO PRESSURE TESTING THE WATER MAINS. FLUSHING CONNECTIONS SHALL BE ABANDONED ONCE FLUSHED AS DIRECTED BY THE CITY

22. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE DEVELOPER WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE AT THE POINT OF CONNECTION.



1 / C-4.0 INLET PROTECTION TYPE D
NOT TO SCALE

SEEDING RATES:

TEMPORARY:
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:
1. USE MADISON PARKS SEED MIX AT 5 LB./1,000 S.F. IN LAWN AND TERRACES, 1ST ADDITION OF FITCHBURG TECHNOLOGY CAMPUS LOT 21, OUTLOT 1, AND ALONG BIKE PATH.

FERTILIZING RATES:

TEMPORARY AND PERMANENT:
USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:
USE ½" TO 1-½" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD. APPROX. DATE: 05-01-16
2. STRIP AND STOCKPILE TOPSOIL. APPROX. DATES: 05-02-16 TO 05-11-16.
3. EXCAVATE FOUNDATION AND ROUGH GRADE LOT. APPROX. DATES: 05-11-16 TO 05-20-16
4. CONSTRUCT UNDERGROUND UTILITIES. APPROX. DATES: 05-20-16 TO 05-23-16
5. GRADE PARKING LOT TO SUBGRADE. APPROX. DATES: 05-23-16 TO 05-31-16
6. RESTORE LOT PER PLANS. APPROX. DATES: 05-23-16 TO 05-31-16
7. RESTORE TERRACES - TOPSOIL, SEED, FERTILIZE, AND EROSION MATTING. APPROX. DATES: 05-01-17
8. REMOVE SILT FENCE, SILT SOCKS, AND INLET PROTECTION AFTER DISTURBED AREAS ARE RESTORED. APPROX. DATES: 07-01-17

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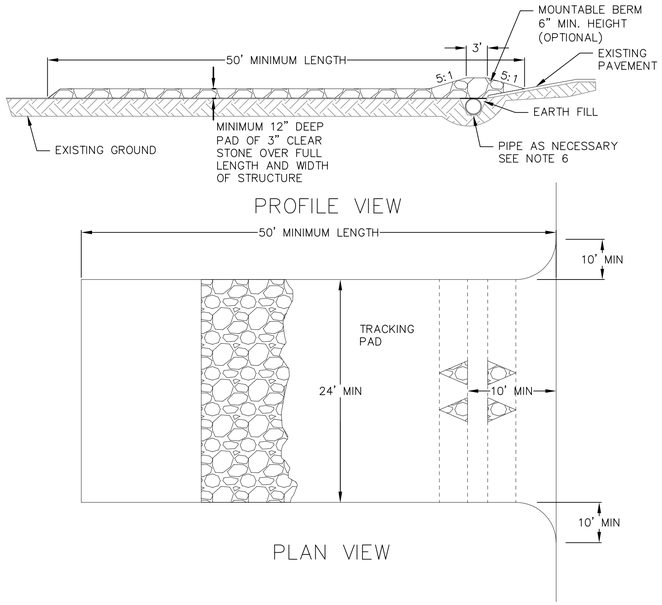
Construction Notes and Details
Outlot 2
Noble Drive, City of Fitchburg
Dane County, WI

REVISIONS
NO.	DATE	REMARKS

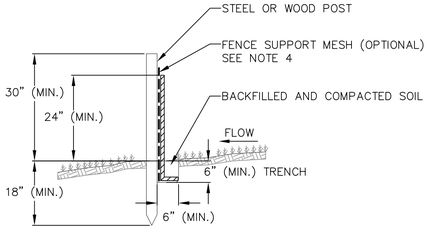
REVISIONS
NO.	DATE	REMARKS

SCALE: AS SHOWN
DATE: 11/13/2015
DRAFTER: CGUY
CHECKED: JFEL
PROJECT NO.: 140234
SHEET: 4 OF 6
DWG. NO.: C-4.0



1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH – MINIMUM OF 50'.
3. WIDTH – 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUNDWATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE–HR GEOTEXTILE FABRIC.
5. STONE – CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER – ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION – A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

1 / C–5.0 **TRACKING PAD**
NOT TO SCALE

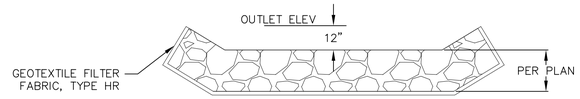


NOTES:

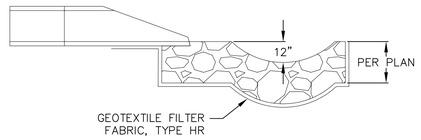
1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)

   POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14–GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

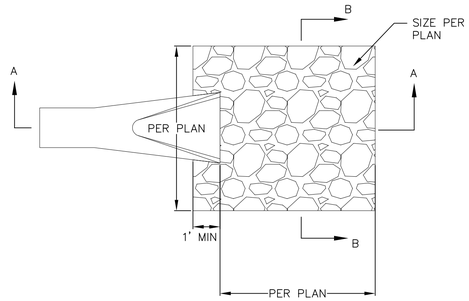
3 / C–5.0 **SILT FENCE**
NOT TO SCALE



CROSS SECTION B–B

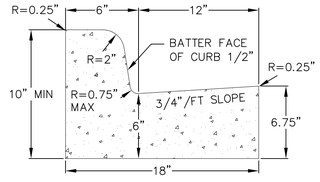


CROSS SECTION A–A

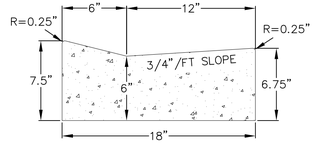


PLAN VIEW

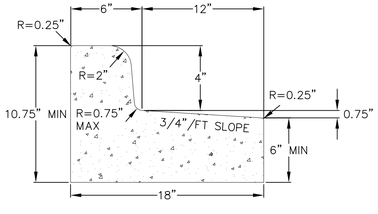
2 / C–5.0 **RIPRAP OUTLET**
NOT TO SCALE



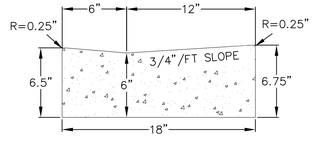
CURB AND GUTTER
CROSS SECTION



DRIVEWAY GUTTER
CROSS SECTION



CURB AND GUTTER
REJECT SECTION



HANDICAP RAMP
GUTTER CROSS SECTION

4 / C–5.0 **18" CONCRETE CURB AND GUTTER**
NOT TO SCALE

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Phone: (608) 826-0532 Fax: (608) 826-0530

Construction Details

Outlot 2
Noble Drive, City of Fitchburg
Dane County, WI

REVISIONS

NO.	DATE	REMARKS

REVISIONS

NO.	DATE	REMARKS

SCALE
AS SHOWN

DATE
11/13/2015

DRAFTER
CGUY

CHECKED
JFEL

PROJECT NO.
140234

SHEET
5 OF 6

DWG. NO.
C–5.0

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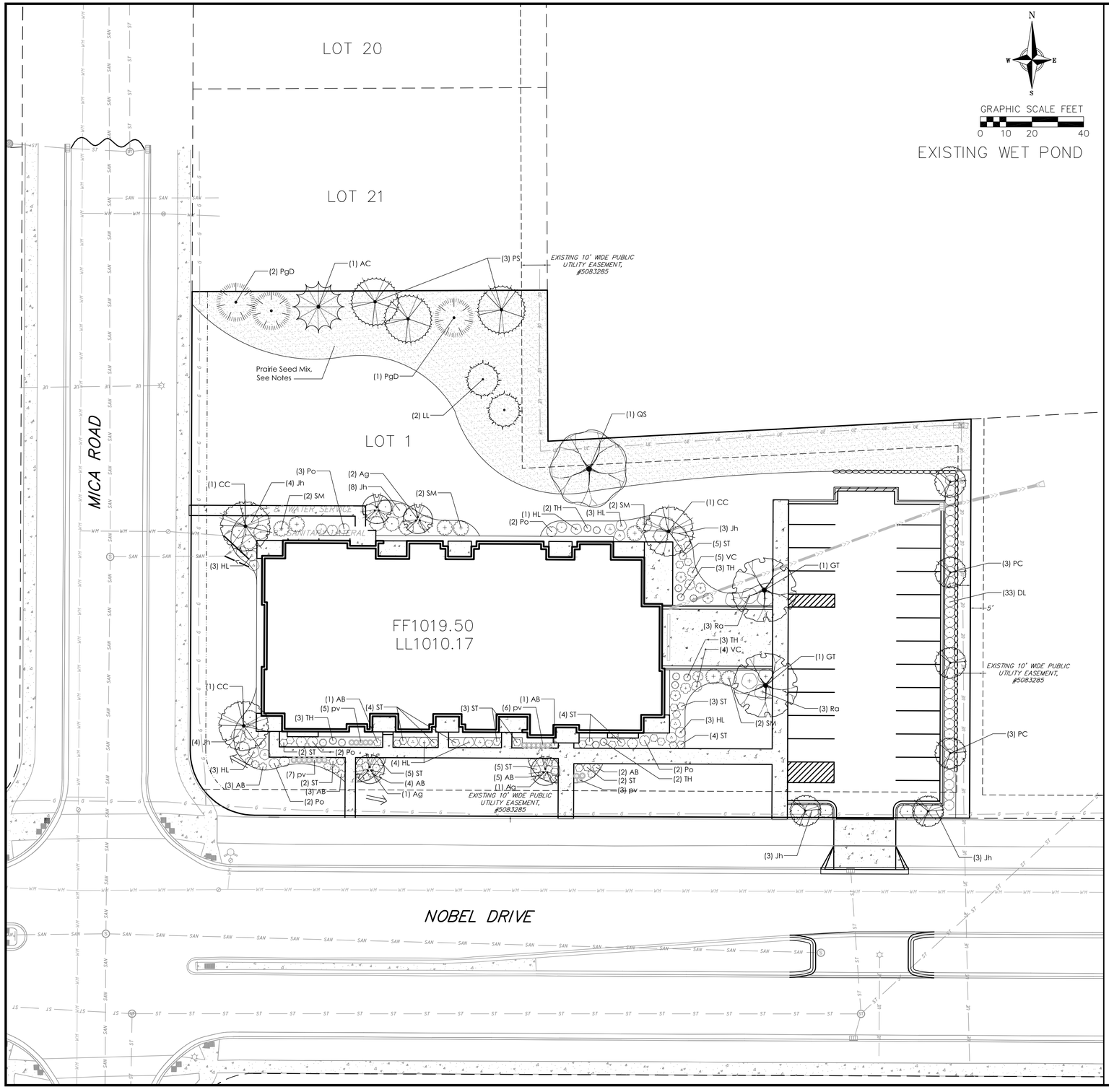

GENERAL NOTES:

1. All plantings shall conform to quality requirements as per ANSI Z60.1.
2. All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climactic conditions similar to those of the project site.
3. Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
4. All disturbed areas, unless otherwise noted, to be seeded with Madison Parks Mix by Olds Seed Company or equivalent, per manufacturer's specified application rates. All seeded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply ½" water twice weekly until final acceptance.
5. Area labeled "Prairie Seed Mix" to be seeded with Economy Prairie Mix by Cardo JF New, or equal, per manufacturer specified application rates.
6. All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
7. Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
8. Landscape beds to be mulched with undyed shredded hardwood bark mulch to 3" depth min. Edge beds with commercial grade aluminum edging.

PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	FEET	QTY
CC	Carpinus caroliniana / American Hornbeam	B & B	2"Cal		3
GT	Gleditsia triacanthos inermis `Shademaster` TM / Shademaster Locust	B & B	2"Cal		2
QS	Quercus x schuetti / Swamp Bur Oak	B & B	2.5"Cal		1

EVERGREEN TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	FEET	QTY
AC	Abies concolor / White Fir	B & B		7`	1
LL	Larix laricina / Tamarack	B & B		7`	2
PgD	Picea glauca `Densata` / Black Hills Spruce	B & B		7`	3
PS	Pinus strobus / White Pine	B & B		7`	3

FLOWERING TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	FEET	QTY
Ag	Amelanchier x grandiflora `Robin Hill` / Apple Serviceberry Clump form	B & B		6`	4
PC	Pyrus calleryana `Cleveland Select` / Cleveland Select Pear	B & B	2"Cal		6

ANNUALS/PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
AB	Amsonia tabernaemontana `Blue Ice` / Blue Ice Star Flower	1 gal	Cont		19
pv	Panicum virgatum `Heavy Metal` / Blue Switch Grass	1 gal			21

DECIDUOUS SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
DL	Diervilla lonicera / Dwarf Bush Honeysuckle	3 gal			33
HL	Hydrangea paniculata `Little Lamb` / Hardy Hydrangea	5 gal	Cont		17
Po	Physocarpus opulifolius `Summer Wine` / Summer Wine Ninebark	5 gal			11
Ra	Rhus aromatica `Gro-Low` / Gro-Low Fragrant Sumac	3 gal			6
ST	Spiraea betulifolia `Tor` / Birchleaf Spirea	3 gal	Cont		39
SM	Syringa meyeri `Palibin` / Dwarf Korean Lilac	5 gal	Cont		8
VC	Viburnum carlesii `Compactum` / Korean Spice Viburnum	3 gal			9

EVERGREEN SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
Jh	Juniperus horizontalis `Wiltonii` / Blue Rug Juniper	3 gal	Cont		25
TH	Thuja occidentalis `Holmstrup` / Holmstrup Cedar	B & B	5` ht		13

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planners | engineers | advisors
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Phone: (608) 826-0532 Fax: (608) 826-0530

Landscape Plan

Outlot 2
Nobel Drive, City of Fitchburg
Dane County, WI

REVISIONS

NO.	DATE	REMARKS

REVISIONS

NO.	DATE	REMARKS

SCALE
AS SHOWN

DATE
11/13/2015

DRAFTER
SVIN

CHECKED
JFEL

PROJECT NO.
140234

SHEET
6 OF 6

DWG. NO.
L-1.0

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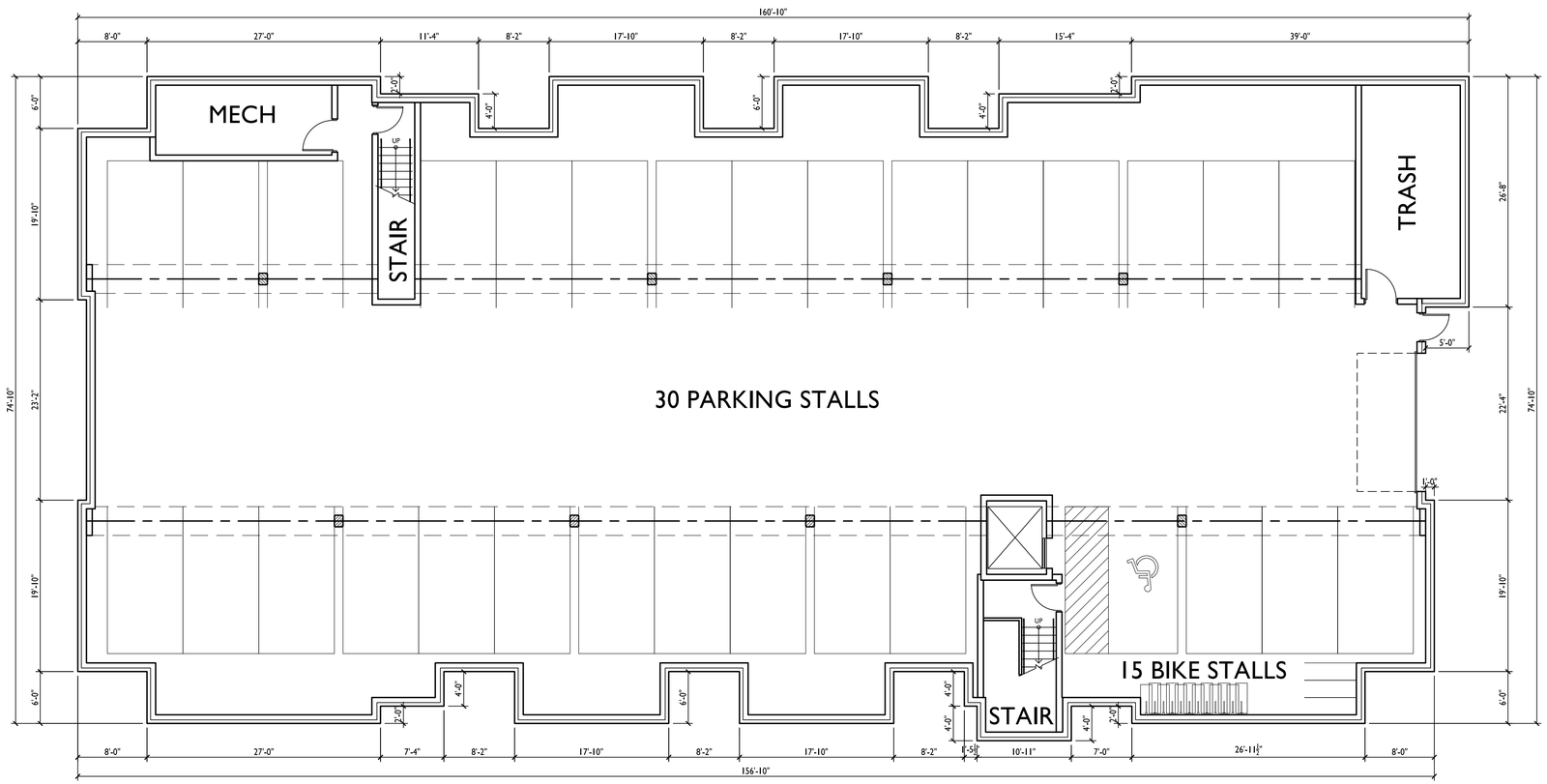


11,296 G.S.F.

1 A-1.0 BASEMENT FLOOR PLAN

1/8"=1'-0"

knothe • bruce
ARCHITECTS
Phone: 608.836.3690
7601 University Ave, Ste 201
Middleton, WI 53562

ISSUED
Issued for Review - November 16, 2015

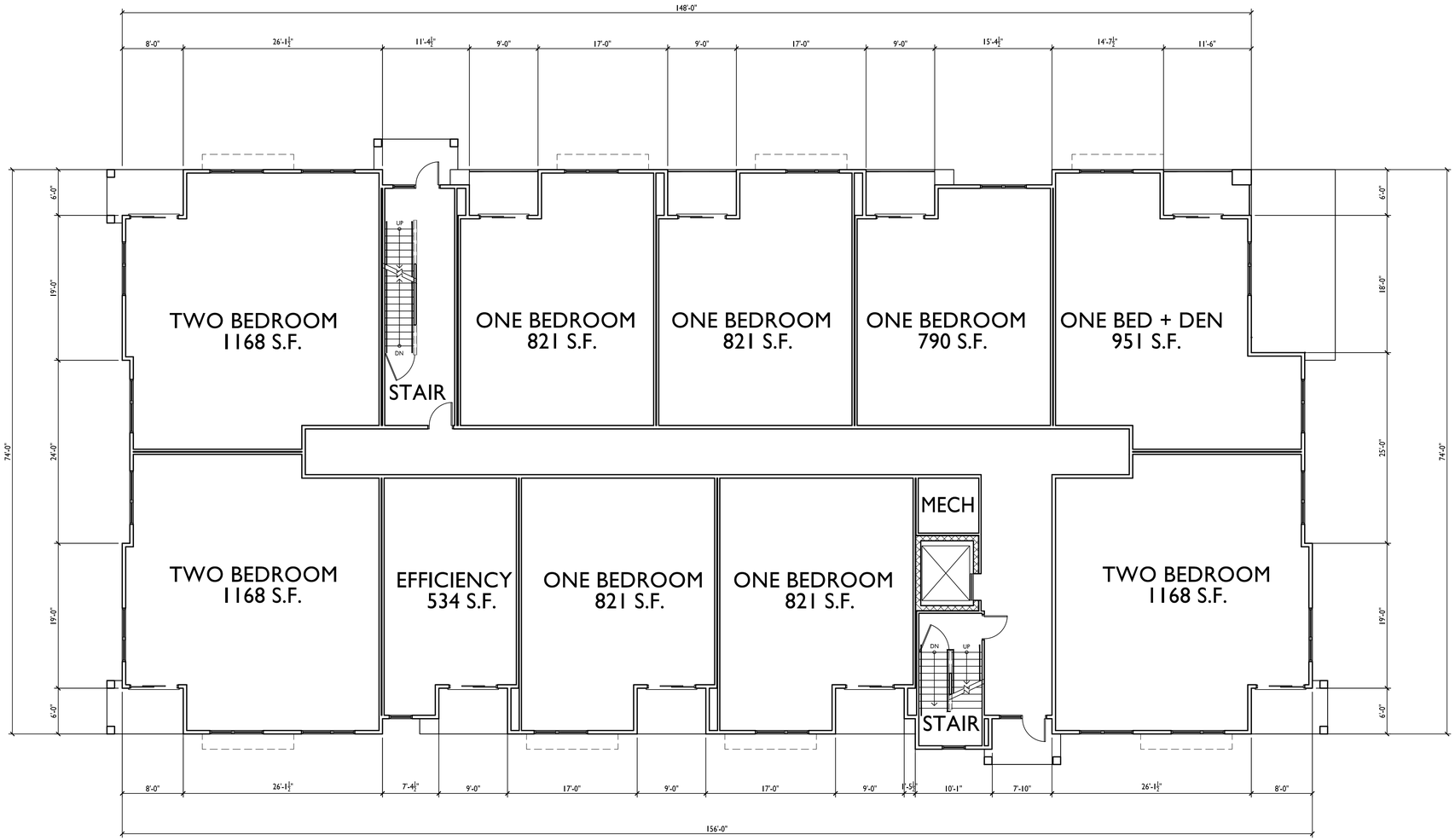
PROJECT TITLE
FTC Outlot 2

Nobel Drive
Fitchburg, Wisconsin

SHEET TITLE
Basement Floor Plan

SHEET NUMBER
A-1.0

PROJECT NO. 1427



10,699 G.S.F.

1 A-1.1 FIRST FLOOR PLAN

1/8"=1'-0"

knothe bruce ARCHITECTS
Phone: 608.836.3690
7601 University Ave, Ste 201
Middleton, WI 53562

ISSUED
Issued for Review - November 16, 2015

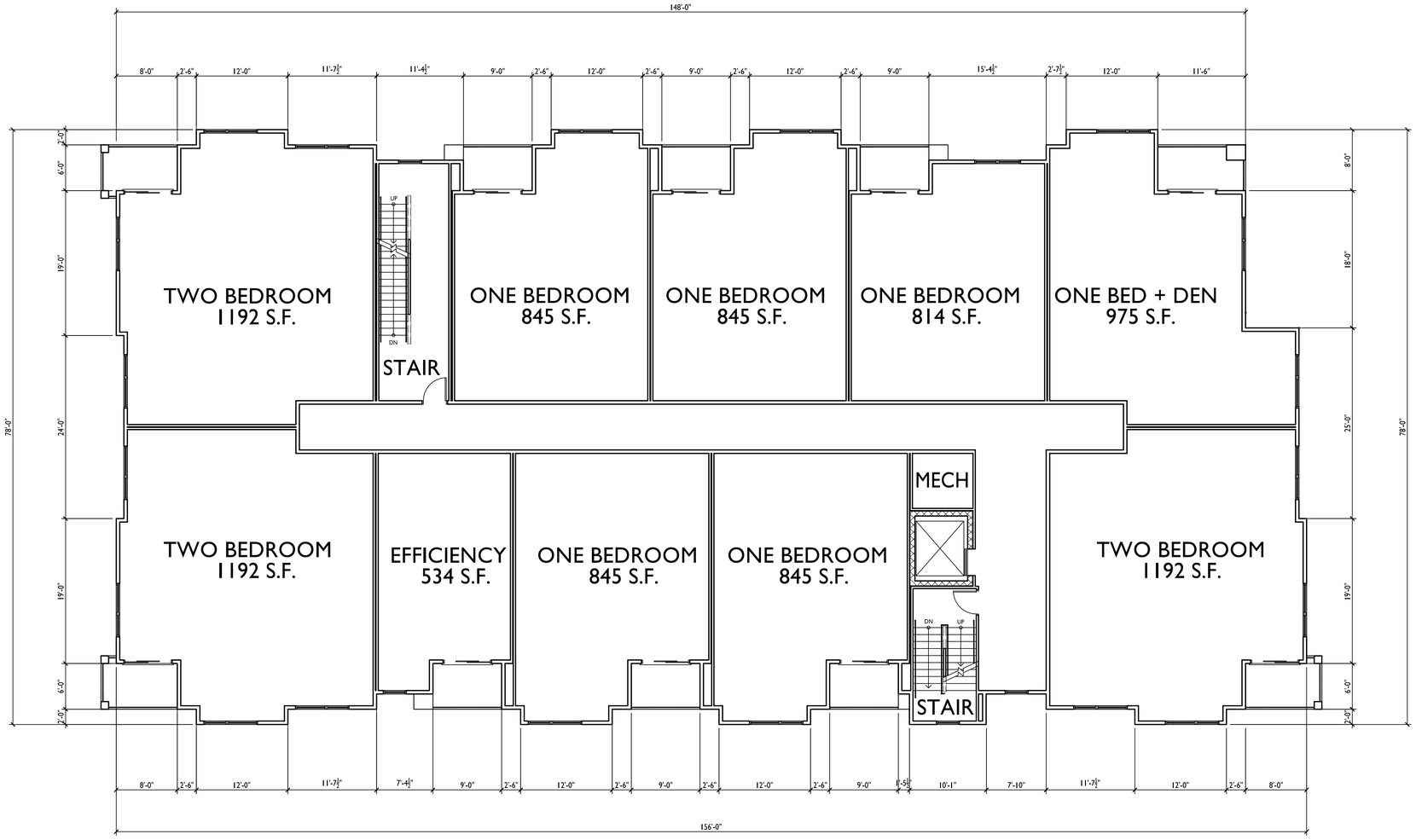
PROJECT TITLE
FTC Outlot 2

Nobel Drive
Fitchburg, Wisconsin

SHEET TITLE
First Floor Plan

SHEET NUMBER
A-1.1

PROJECT NO. 1427



10,891 G.S.F.

X
A-X.X
SECOND FLOOR PLAN
1/8"=1'-0"

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ARCHITECTS
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7601 University Ave, Ste 201
Middleton, WI 53562

ISSUED
Issued for Review - November 16, 2015

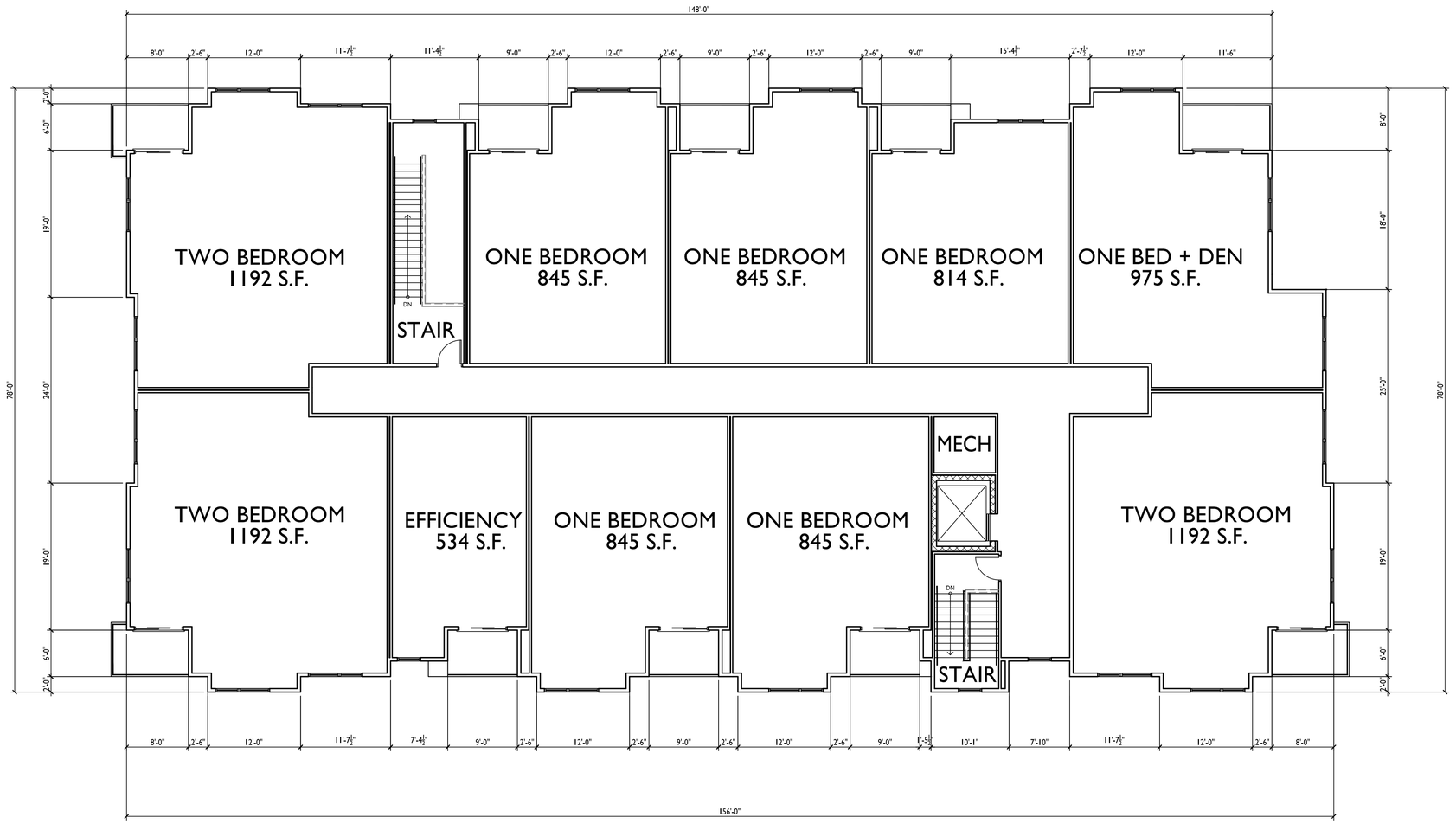
PROJECT TITLE
FTC Outlot 2

Nobel Drive
Fitchburg, Wisconsin

SHEET TITLE
Second Floor Plan

SHEET NUMBER
A-1.2

PROJECT NO. 1427



10,891 G.S.F.

X
A-X.X
THIRD FLOOR PLAN
1/8"=1'-0"

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7601 University Ave, Ste 201
Middleton, WI 53562

ISSUED
Issued for xyz - Month Day, Year

PROJECT TITLE
FTC Outlot 2

Nobel Drive
Fitchburg, Wisconsin

SHEET TITLE
Third Floor Plan

SHEET NUMBER
A-1.3

PROJECT NO. 1427

1 / A-2.1 SOUTH ELEVATION
1/8"=1'-0"

2 / A-2.1 WEST ELEVATION
1/8"=1'-0"

knothe bruce
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Middleton, WI 53562

ISSUED
Issued for Review - November 16, 2015

PROJECT TITLE
FTC Outlot 2

Nobel Drive
Fitchburg, Wisconsin

SHEET TITLE
Exterior
Elevations

SHEET NUMBER
A-2.1

PROJECT NO. 1427

1 / A-2.2 NORTH ELEVATION

1/8"=1'-0"

2 / A-2.2 EAST ELEVATION

1/8"=1'-0"

knothe bruce
ARCHITECTS
Phone: 608.836.3690
7601 University Ave, Ste 201
Middleton, WI 53562

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PROJECT TITLE
FTC Outlot 2

Nobel Drive
Fitchburg, Wisconsin

SHEET TITLE
Exterior
Elevations

SHEET NUMBER
A-2.2

PROJECT NO. 1427

1 / A-2.1 SOUTH ELEVATION
1/8"=1'-0"

2 / A-2.1 WEST ELEVATION
1/8"=1'-0"

kba
knothe bruce
ARCHITECTS
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FTC Outlot 2

Nobel Drive
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SHEET TITLE
Exterior
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SHEET NUMBER
A-2.1

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